



Penarwyn Road

St. Blazey

Par

PL24 2DT

Asking Price £70,000

- NO ONWARD CHAIN AND VACANT POSSESSION UPON COMPLETION
- REPAIRED CORNISH UNIT - PRC CERTIFICATE AVAILABLE
 - RENOVATION REQUIRED THROUGHOUT
- IDEAL FOR FIRST TIME BUYERS
- EXPECTED RENTAL INCOME OF APPROX 700PCM
- ON STREET PARKING AVAILABLE
 - CONNECTED TO ALL MAINS SERVICES
 - SCAN QR FOR MATERIAL INFORMATION



 **Millerson**
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Tenure - Leasehold

Council Tax Band - A

Floor Area - 699.66 sq ft



Property Description

Smart Millerson Estate Agents are thrilled to present this two-bedroom, first floor, apartment to the market. Located within a convenient residential area, this property is in need of cosmetic modernisation throughout however is perfect for those looking to put their own stamp on a property or enhance their portfolio. In brief, the accommodation comprises of a bright and airy entrance hallway with doors leading into an expansive lounge, kitchen, two double bedrooms and family bathroom. Externally, the property benefits from having a laid to lawn area to the side ideal for storing bins and recycling things. It is connected to mains electricity, water, gas and drainage. The property also falls under Council Tax Band A. Viewings are highly recommended to appreciate all this property has to offer.

Location

Situated within a convenient residential location on the outskirts of Par, the property enjoys excellent access to the surrounding amenities including local convenience shops, hairdressers, pubs and transport links to the surrounding area. The dog friendly Par beach is close at hand being within a 10 minute drive, as is the branch line rail link, with a comprehensive range of amenities located in the adjacent town of St Austell. Further afield lies Fowey and its quirky meandering streets, the picturesque walks of the Roseland Peninsula, an area of outstanding natural beauty, the harbour at Charlestown, utilised as a backdrop for numerous period dramas, and of course the sandy beaches ready for kayaking, surfing or paddle boarding to discover all that the coves of Cornwall have to offer.

The Accommodation Comprises

All dimensions are approximate and can be found within the floorplan.

Entrance Hall

Stairs leading upstairs. Loft access.

Landing

Loft access. Smoke sensor. Doors leading to:

Kitchen

Double glazed window. A range of wall and base fitted units with roll top work surfaces. Space and plumbing for freestanding fridge freezer, washing machine and cooker. Combination boiler. Tiling around stain sensitive areas. Storage cupboard. Radiator. Ample plug sockets. Skirting. Vinyl flooring.

Living Room

Double glazed window. Radiator. TV point Ample plug sockets. Skirting. Carpeted flooring.

Bedroom One

Double glazed window. Storage cupboard. Radiator. Plug sockets. Skirting. Carpeted flooring.

Bedroom Two

Double glazed window. Radiator. Plug sockets. Skirting. Carpeted flooring.

Family Bathroom

Frosted double glazed window. Extractor fan. Bath with electric shower over. Wash basin. WC with push flush. Tiling around water sensitive areas. Radiator. Skirting. Vinyl flooring.

Outside

Hardstanding path leading to the front door with a small laid to lawn area opposite. Two concrete, purpose built outbuildings.

Parking

Ample on street parking is available.

Services

This property is connected to all mains services and falls under Council Tax Band A.

Tenure

A 990-year lease will be granted upon completion.

Annual service charge £485.76 *subject to annual review from 1st April 2027.

Material Information

Verified Material Information

Tenure: Leasehold
Council tax band: A
EPC rating: C

Semi-detached flat, standard construction
2 bedrooms, 1 bathroom, 1 reception
Accessibility adaptations: None

Mains electricity
Mains water
Mains foul drainage
Mains surface water drainage
Mains gas central heating
Heating features: Double glazing
Broadband: FTTP (Fibre to the Premises)
Mobile coverage: O2 good, Vodafone good, Three great, EE good
Parking: On Street

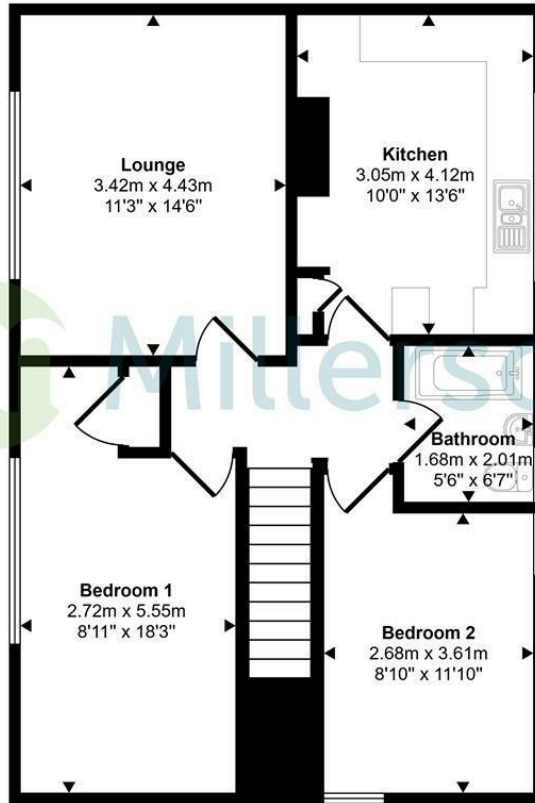


Not a listed building
Not in a conservation area
No tree preservation order
Public right of way: Neighbouring properties to access out buildings.
Non-coal mining area: yes

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Approx Gross Internal Area
66 sq m / 715 sq ft



First Floor

This floorplan is only for illustrative purposes and is not to scale. Measurements of rooms, doors, windows, and any items are approximate and no responsibility is taken for any error, omission or mis-statement. Icons of items such as bathroom suites are representations only and may not look like the real items. Made with Made Snappy 360.

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B			
(69-80) C		72	75
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
England & Wales		EU Directive 2002/91/EC	

Needing To Sell?

Are you interested in this property but aren't currently in a proceedable position?

Don't Panic!

Contact Us On The Details Below To Arrange A Valuation

Here To Help

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